

PROPOSED DEVELOPMENT APPLICATION

ALTERATIONS & ADDITIONS
33 EDWARD STREET WOOLLAHRA 2025

ARCHITECTURAL DRAWINGS
DRAWING# SHEET NAME

20039 DA 00	SITE PLAN & COVER PAGE
20039 DA 01	EXISTING & PROPOSED CARPORT & LOWER GROUND FLOOR PLAN
20039 DA 02	EXISTING & PROPOSED GROUND & FIRST FLOOR PLAN
20039 DA 03	PROPOSED ELEVATIONS
20039 DA 04	SECTIONS
20039 DA 05	EXISTING & PROPOSED SHADOW DIAGRAM'S
20039 DA 06	STORMWATER PLAN/EROSION & SEDIMENT CONTROL PLAN

TWO

MET

AREA CALCULATIONS

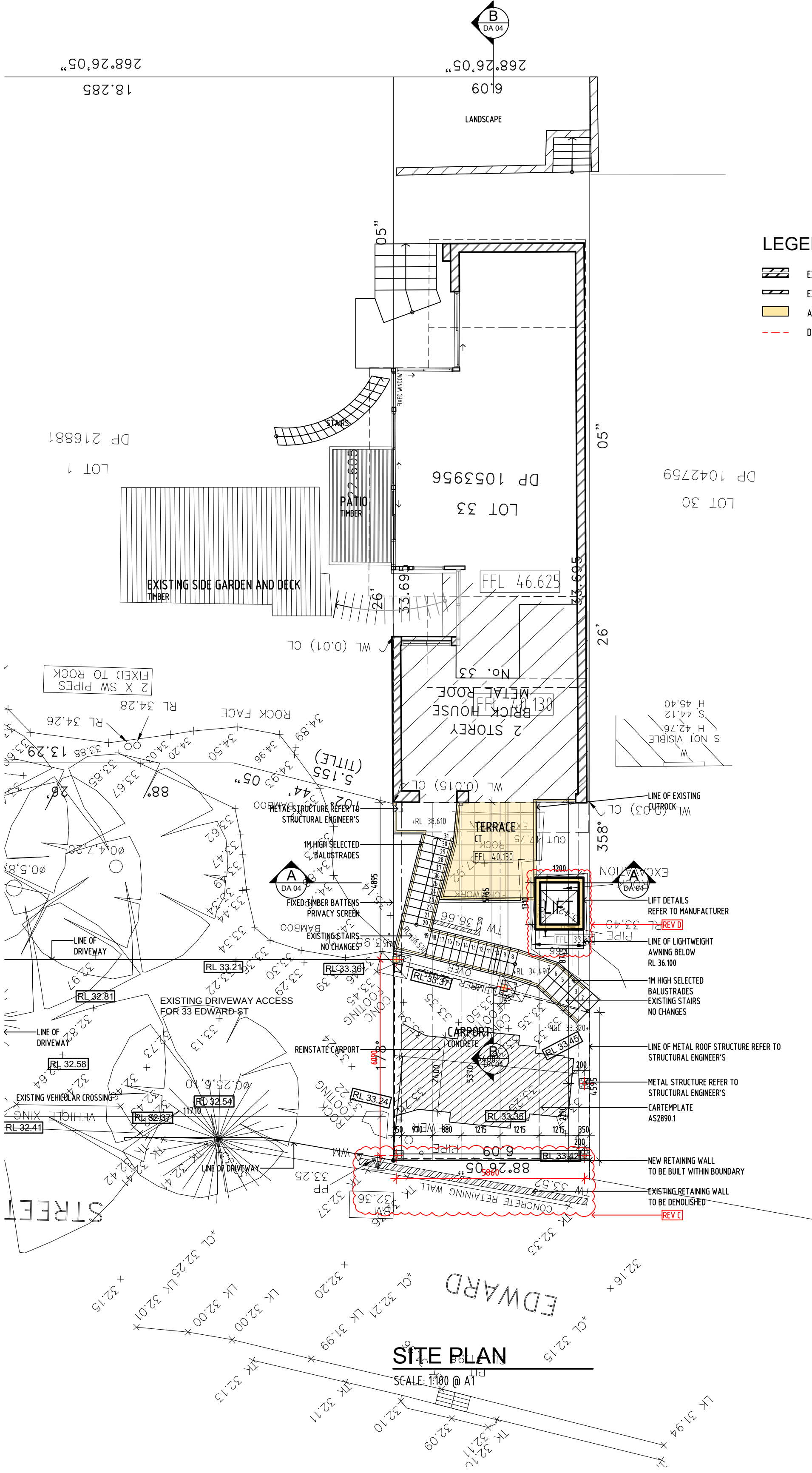
SITE AREA 205.30m²
FLOOR SPACE IS NOT PROPOSED, NO CHANGES
0.3D/8I

DP

ED

MATERIALS

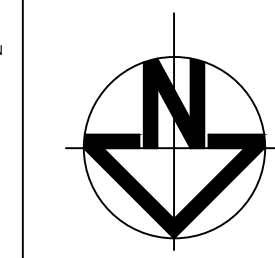
CT = CERAMIC TILES
CONC. = CONCRETE SLAB



NOTES:

- ALL DIMENSIONS ARE IN MILLIMETRES AND SHOULD BE VERIFIED ON SITE BY BUILDER PRIOR TO COMMENCEMENT OF WORKS
- ALL CONSTRUCTION TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA, RELEVANT AUSTRALIAN STANDARDS AND APPROVED DEVELOPMENT CONSENT CONDITIONS
- ALL DIMENSIONS THAT RELATE TO SITE BOUNDARIES AND EASEMENTS ARE SUBJECT TO VERIFICATION ON SITE BY SURVEYOR
- FIGURED DIMENSIONS TO TAKE PRECEDENCE OVER SCALED DIMENSIONS. IF IN DOUBT CALL CAD PLANS PTY LTD
- ALL TIMBER CONSTRUCTION IS TO BE IN ACCORDANCE WITH THE NATIONAL TIMBER FRAMING CODE AS 1684 - 1992
- ROOF WATER AND SUB SOIL DRAINAGE TO BE DISPOSED OF IN THE APPROVED MANNER AS INDICATED ON THE STORMWATER PLANS DESIGNED BY THE STORMWATER ENGINEER
- ALL STRUCTURAL DETAILS TO BE DESIGNED BY AN APPROVED STRUCTURAL ENGINEER
- DRAWING NOT TO BE USED FOR CONSTRUCTION UNLESS MARKED 'ISSUED FOR CONSTRUCTION'

PROJECT NORTH:



CLIENT:

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SHEET TITLE:
SITE PLAN & COVER PAGE

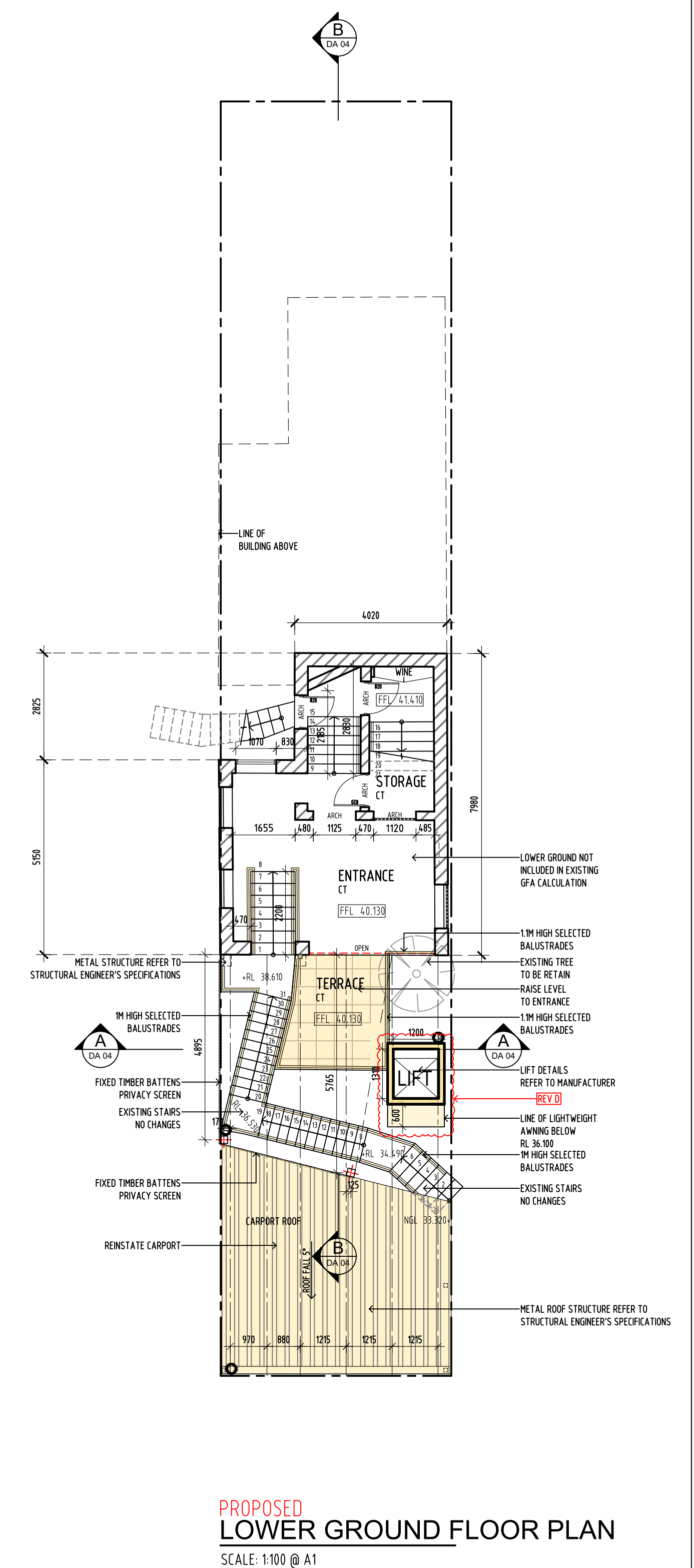
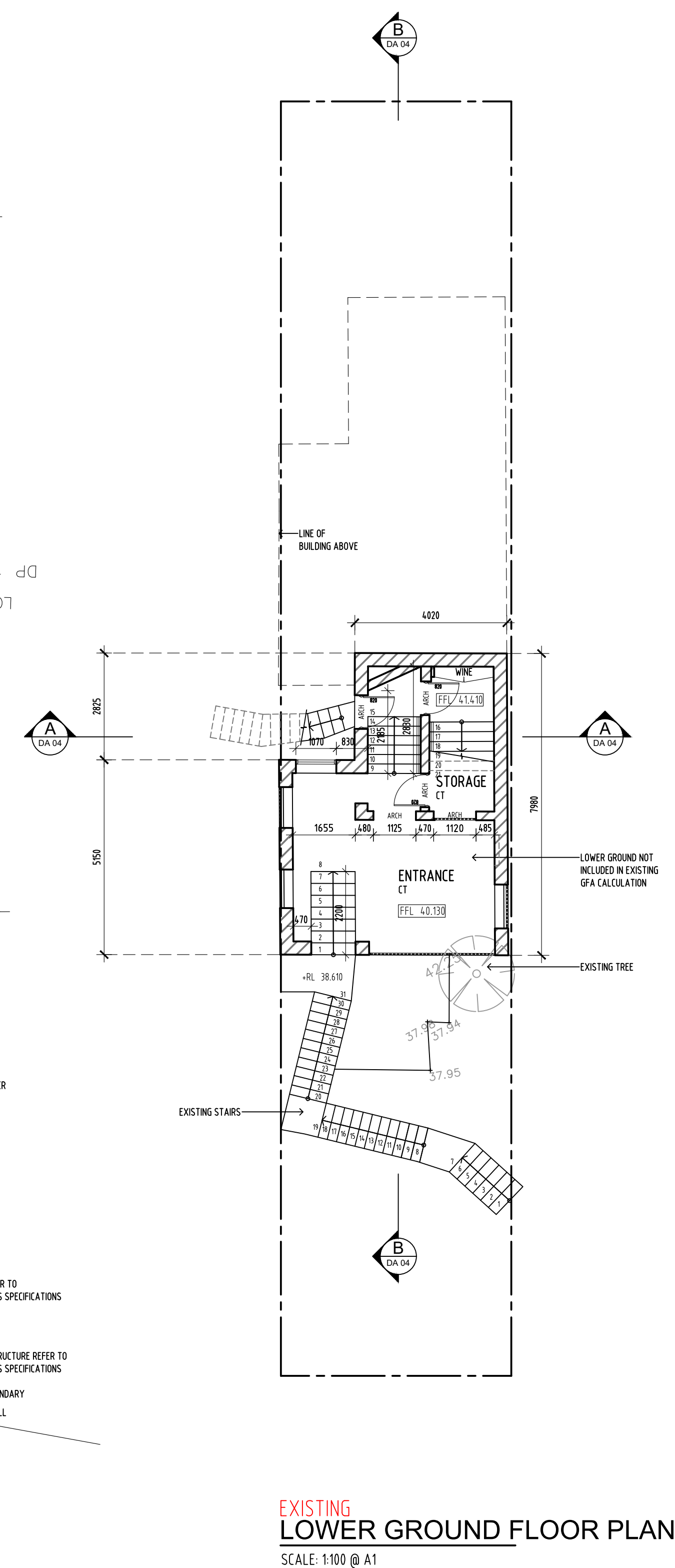
DESIGNER:	DRAWN:	DATE:	SCALE:	PRINT SCALE:
NAS	JL	DEC. 2020	AS SHOWN	A1 - 1:100 A3 - 1:200

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PROJECT TYPE: ALTERATIONS & ADDITIONS SITE ADDRESS: 33 EDWARD STREET WOOLLAHRA 2025 LEGAL IDENTIFICATION NUMBER: 33/-DP1053956 LOCAL GOVERNMENT AUTHORITY: WOOLLAHRA MUNICIPAL COUNCIL	SHEET NUMBER: 20039 DA 00	ISSUE: D
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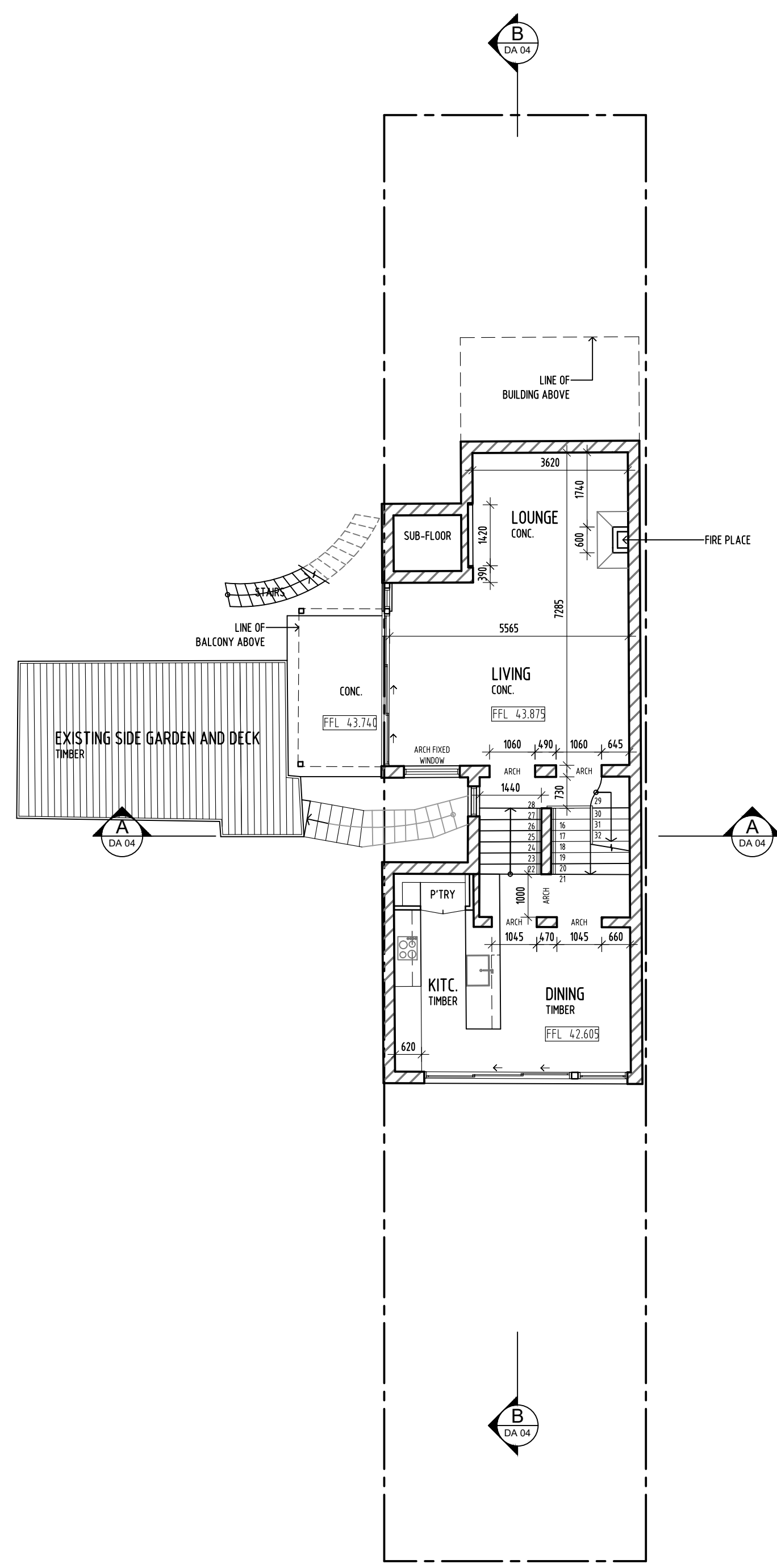
2. LIFT SHAFT ADJUSTED TO SUIT EXISTING ROCK EXCAVATION

	EXISTING EXTERNAL WALL
	EXISTING INTERNAL WALL
	ADDITIONAL WORKS
	DEMOLISH/REMOVE ITEMS

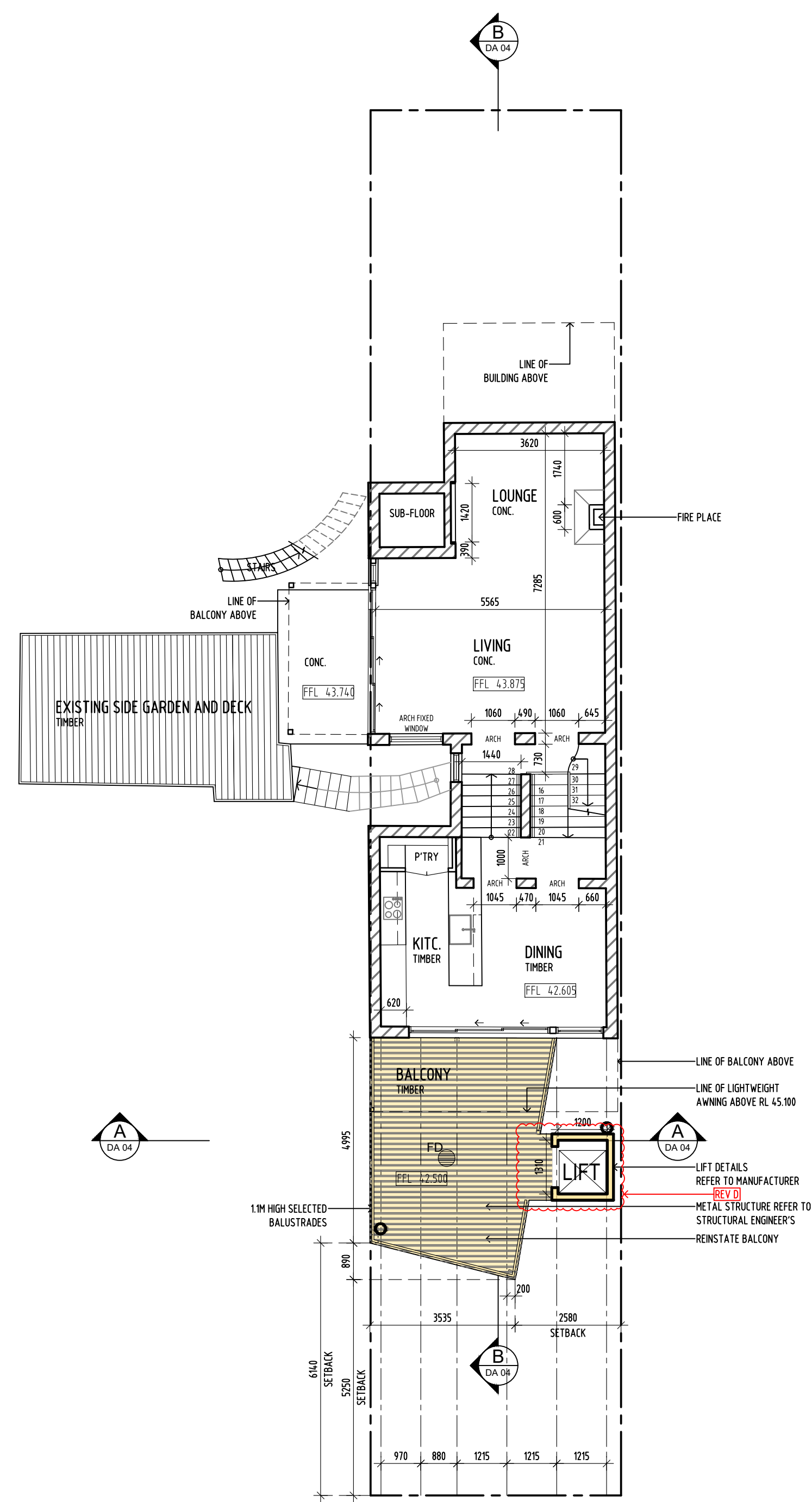
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LIST OF CHANGES:
REV D
1. LIFT SHAFT ADJUSTED TO SUIT EXISTING ROCK EXCAVATION

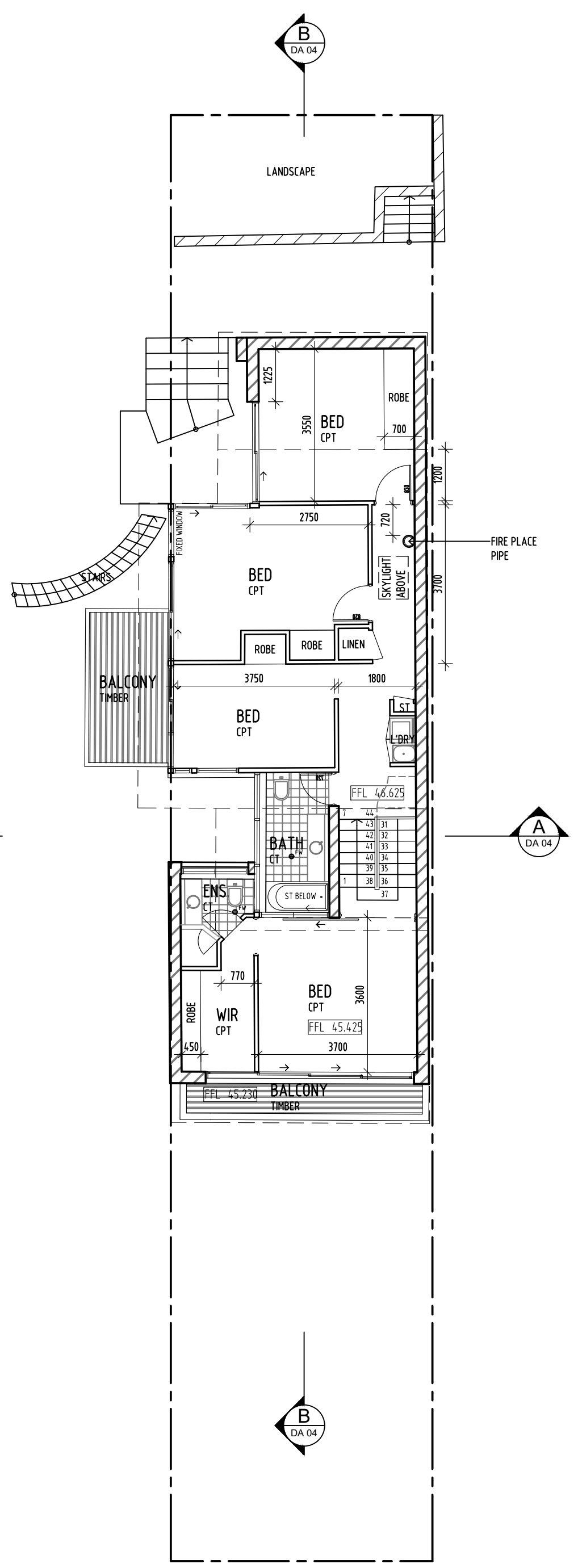
LEGEND	
	EXISTING EXTERNAL WALL
	EXISTING INTERNAL WALL
	ADDITIONAL WORKS
	DEMOLISH/REMOVE ITEMS



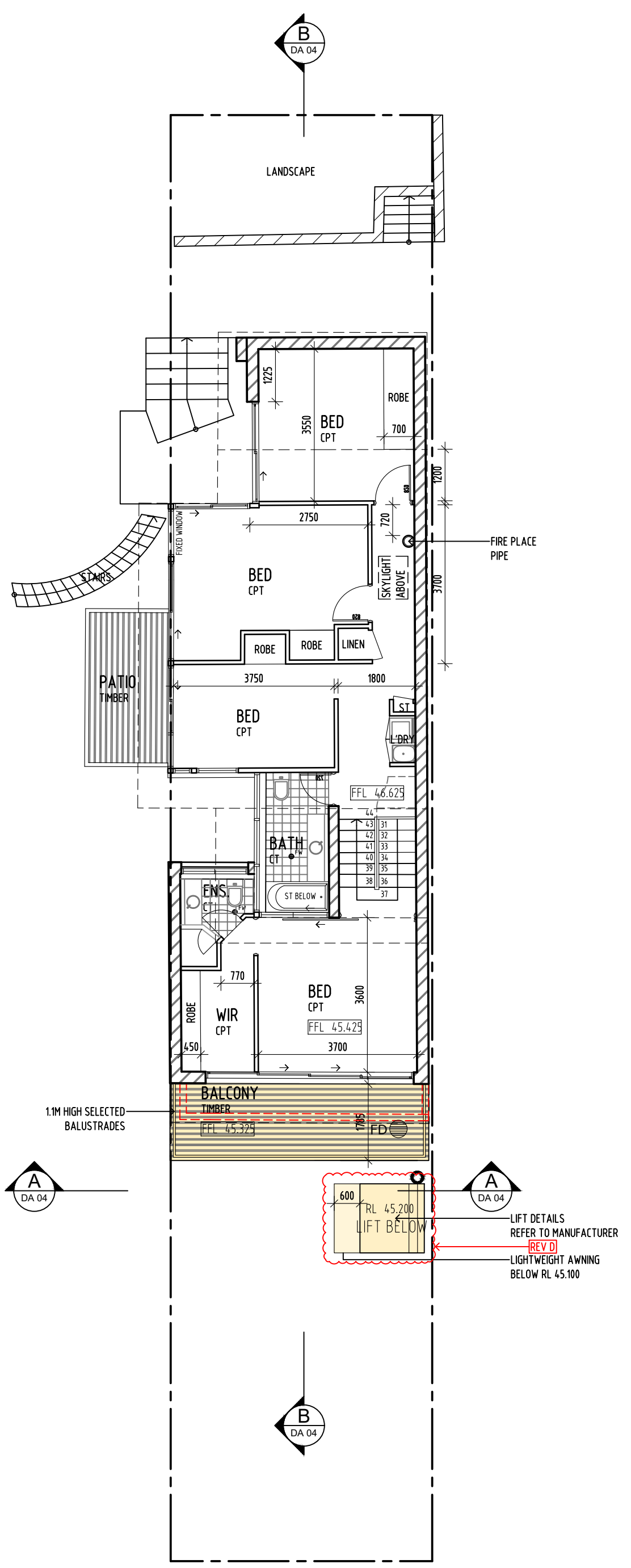
EXISTING
GROUND FLOOR PLAN
SCALE: 1:100 @ A1



PROPOSED
GROUND FLOOR PLAN
SCALE: 1:100 @ A1



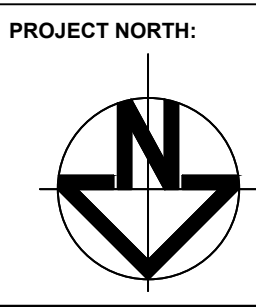
EXISTING
FIRST FLOOR PLAN
SCALE: 1:100 @ A1



PROPOSED
FIRST FLOOR PLAN
SCALE: 1:100 @ A1

REV	DATE	NOTE
D	18.08.21	LIFT LOCATION AND SIZE ADJUSTED TO SUIT EXISTING ROCK EXCAVATION, STORMWATER DETAILS ADDED
B	26.04.2021	NO CHANGES
A	10.03.2021	ISSUE FOR DEVELOPMENT APPLICATION

NOTES:	
1.	ALL DIMENSIONS ARE IN MILLIMETRES AND SHOULD BE VERIFIED ON SITE BY BUILDER PRIOR TO COMMENCEMENT OF WORKS
2.	ALL CONSTRUCTION TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA, RELEVANT AUSTRALIAN STANDARDS AND APPROVED DEVELOPMENT CONSENT CONDITIONS
3.	ALL DIMENSIONS THAT RELATE TO SITE BOUNDARIES AND EASEMENTS ARE SUBJECT TO VERIFICATION ON SITE BY SURVEYOR
4.	FOURED DIMENSIONS TO TAKE PRECEDENCE OVER SCALED DIMENSIONS. IF IN DOUBT CALL CAD PLANS PTY LTD
5.	ALL TIMBER CONSTRUCTION IS TO BE IN ACCORDANCE WITH THE NATIONAL TIMBER FRAMING CODE AS 1684 - 1992
6.	ROOF WATER AND SUB SOIL DRAINAGE TO BE DISPOSED OF IN THE APPROVED MANNER AS INDICATED ON THE STORMWATER PLANS DESIGNED BY THE STORMWATER ENGINEER
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8.	DRAWING NOT TO BE USED FOR CONSTRUCTION UNLESS MARKED 'ISSUED FOR CONSTRUCTION'

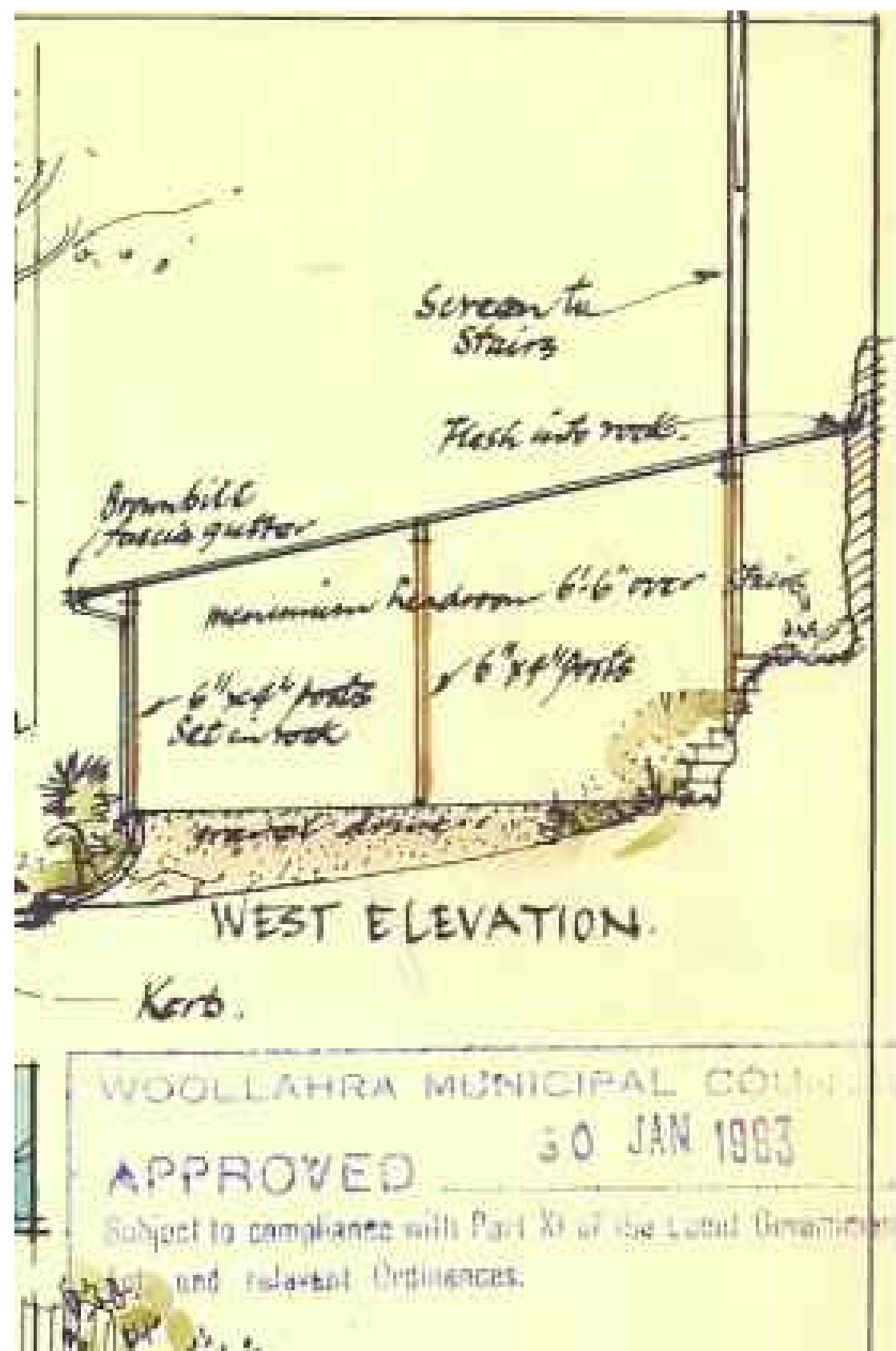
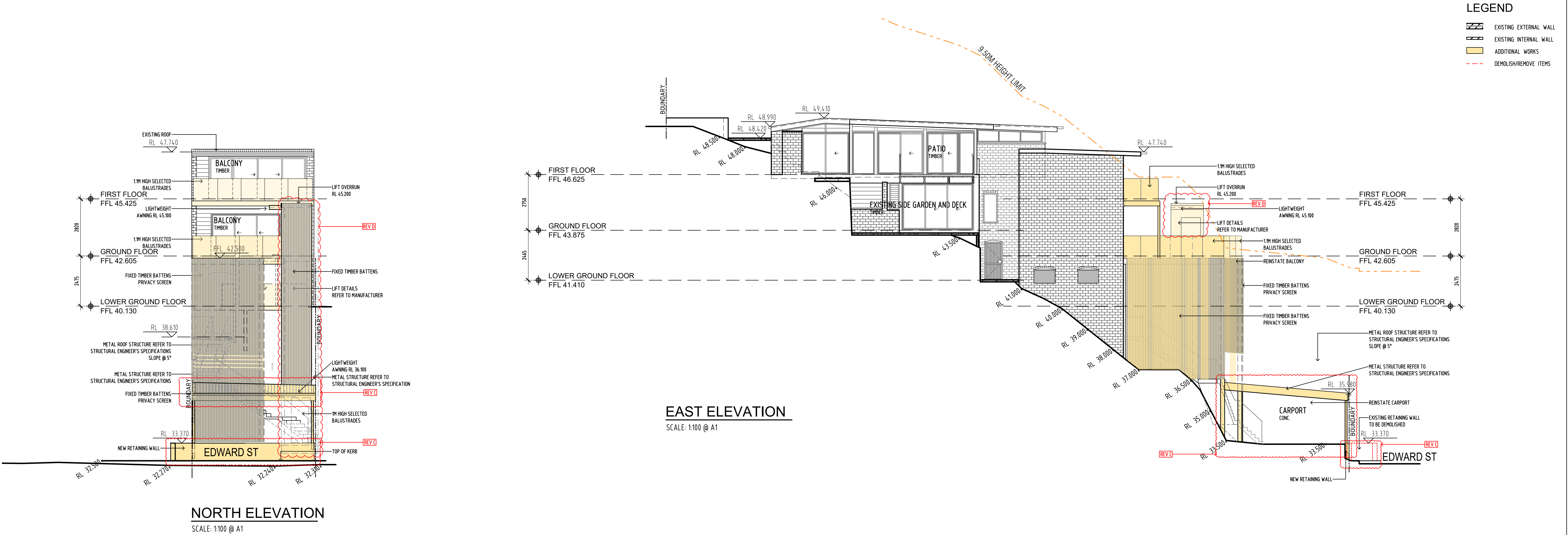


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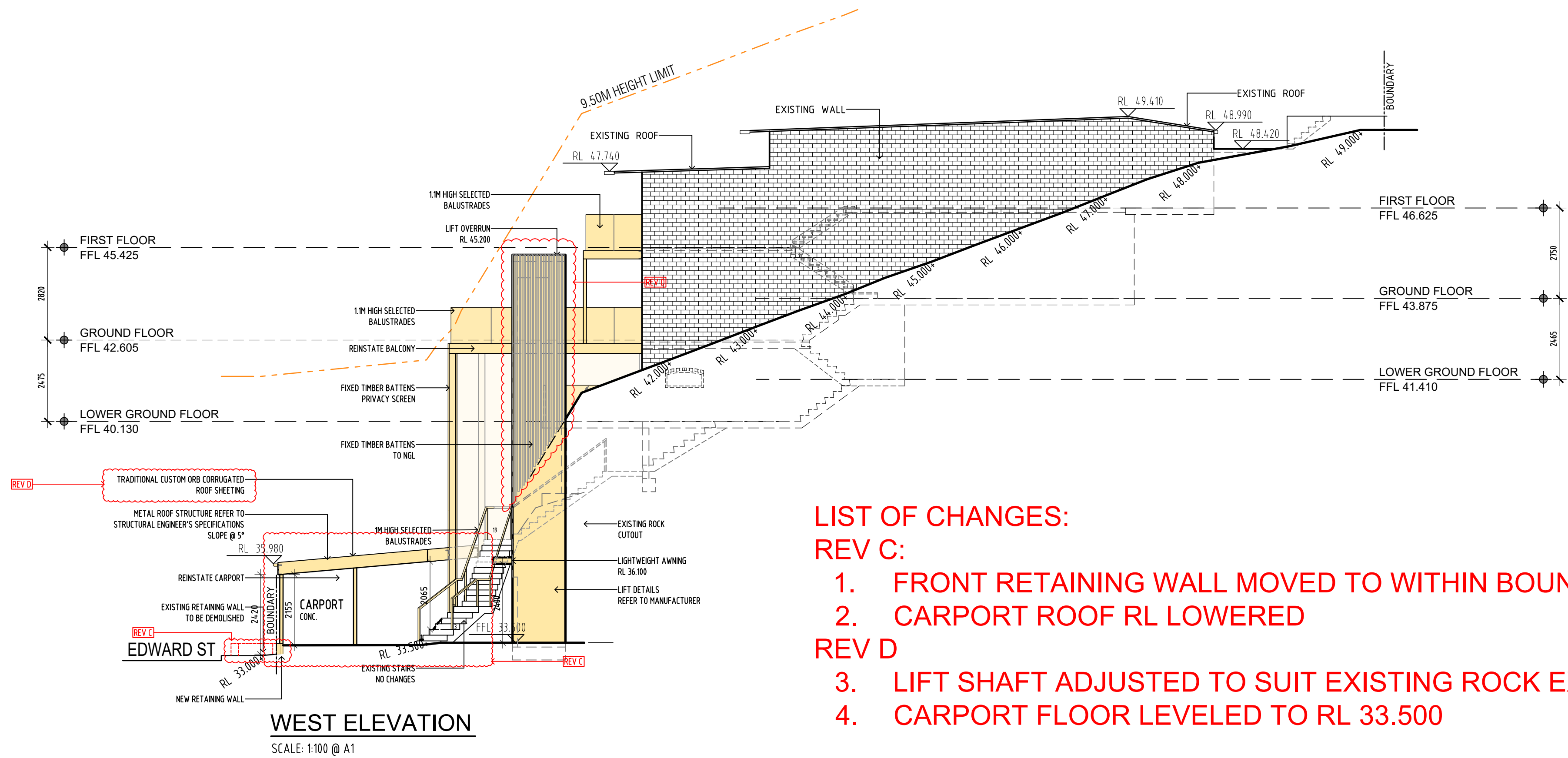
SHEET TITLE: EXISTING & PROPOSED GROUND & FIRST FLOOR PLAN				
DESIGNER: NAS	DRAWN: JI	DATE: DEC. 2020	SCALE: AS SHOWN	PRINT SCALE: A1 - 1:100 A3 - 1:200
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PROJECT TYPE: ALTERATIONS & ADDITIONS SITE ADDRESS: 33 EDWARD STREET WOOLLAHRA 2025 LEGAL IDENTIFICATION NUMBER: 33/-DP1053956 LOCAL GOVERNMENT AUTHORITY: WOOLLAHRA MUNICIPAL COUNCIL	
SHEET NUMBER: 20039 DA 02	ISSUE: D



APPROVED CARPORT SECTION

MAX HEADROOM 6'6"
(2m) OVER STAIRS



LIST OF CHANGES:

REV C:

- FRONT RETAINING WALL MOVED TO WITHIN BOUNDARY
- CARPORT ROOF RL LOWERED

REV D

- LIFT SHAFT ADJUSTED TO SUIT EXISTING ROCK EXCAVATION
- CARPORT FLOOR LEVELLED TO RL 33.500

REV	DATE	NOTE
D	18.08.21	LIFT LOCATION AND SIZE ADJUSTED TO SUIT EXISTING ROCK EXCAVATION, STORMWATER DETAILS ADDED
C	14.07.2021	TIMBER BATONS ADDED TO LIFT SHAFT
B	26.04.2021	NO CHANGES
A	10.03.2021	ISSUE FOR DEVELOPMENT APPLICATION

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PROJECT NORTH:

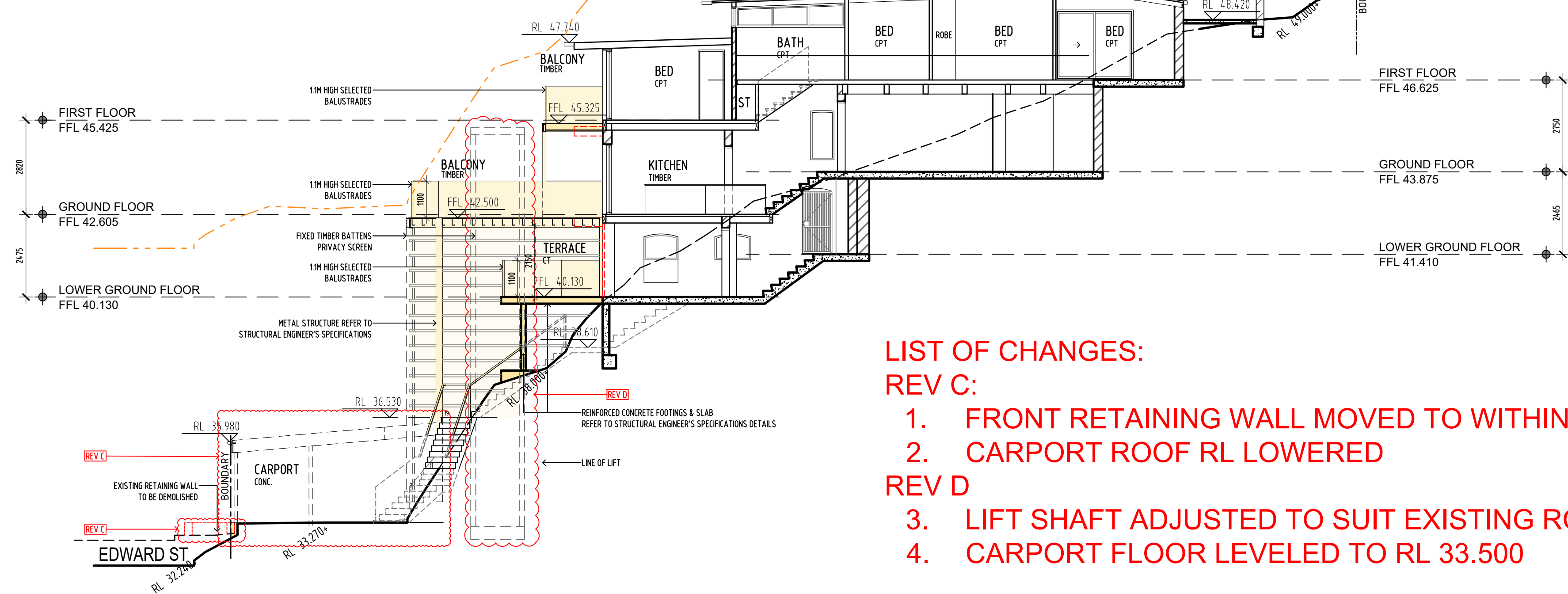
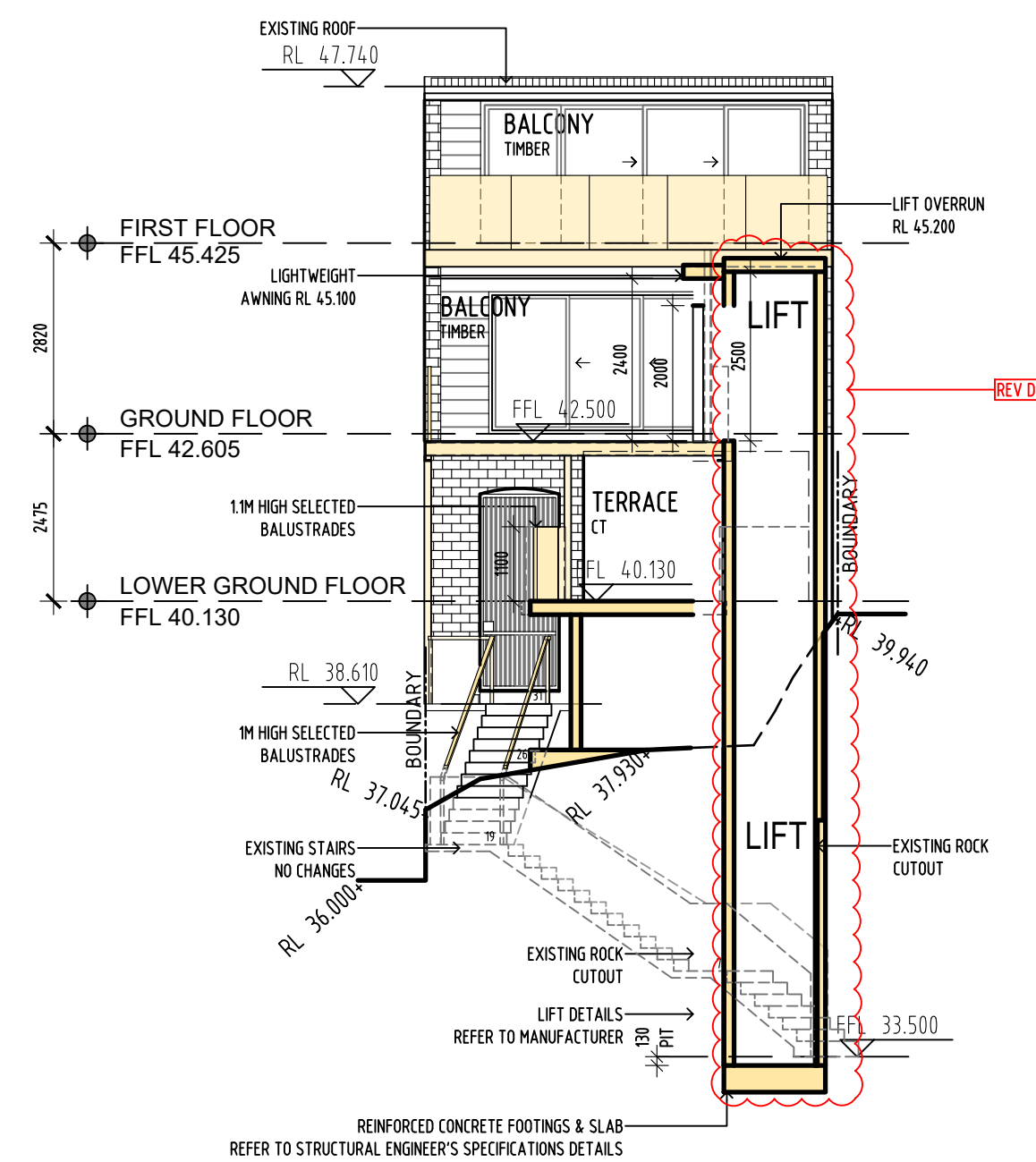
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SHEET TITLE: PROPOSED ELEVATIONS				
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SHEET NUMBER: 20039 DA 03	ISSUE: D



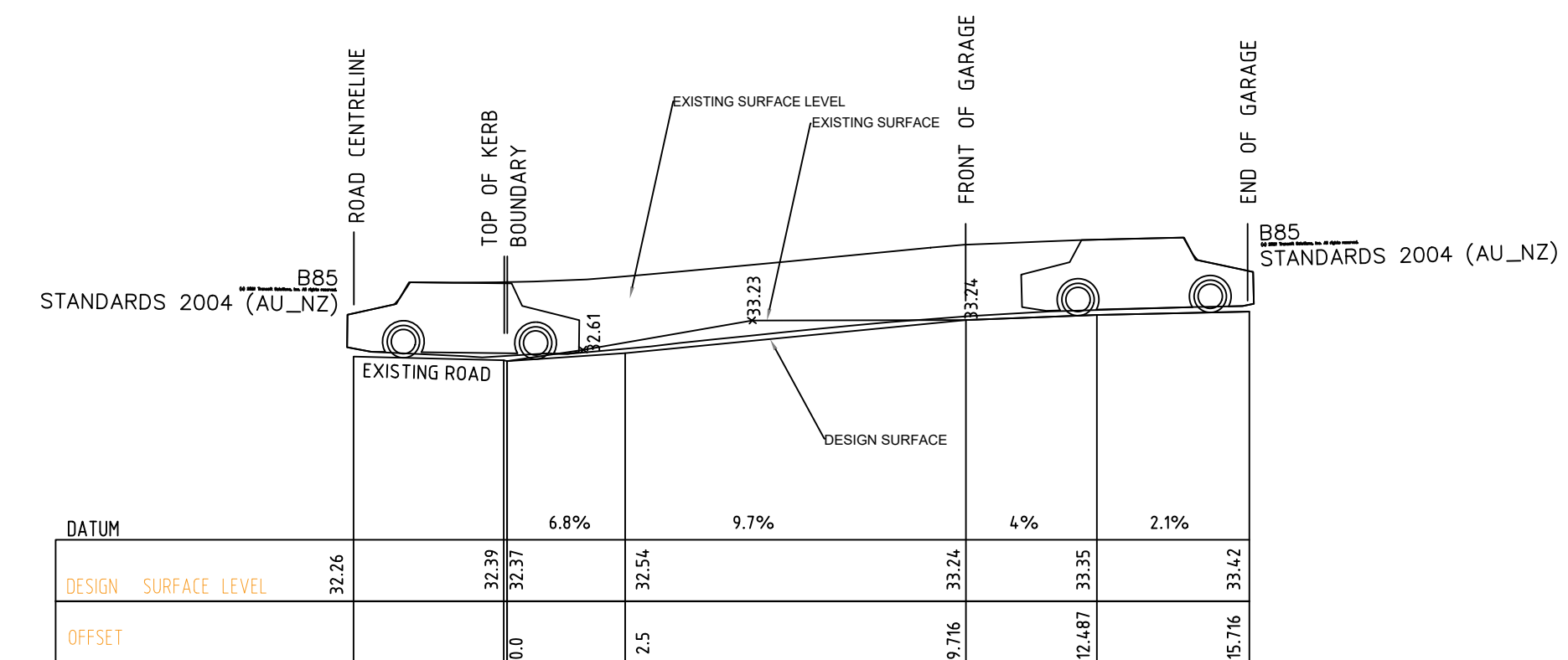
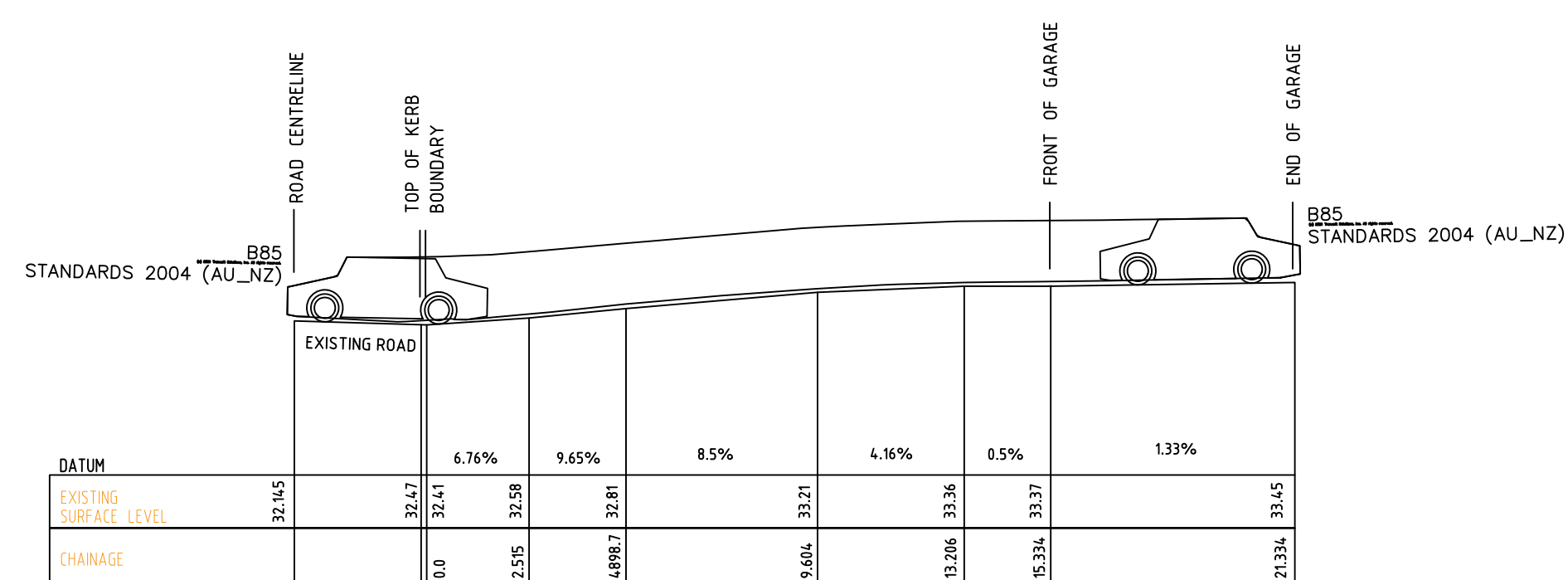
- ## LIST OF CHANGES:

REV C:

1. FRONT RETAINING WALL MOVED TO WITHIN BOUNDARY
2. CARPORT ROOF RL LOWERED

REV D

3. LIFT SHAFT ADJUSTED TO SUIT EXISTING ROCK EXCAVATION
4. CARPORT FLOOR LEVELED TO RL 33.500



D	18.08.21	LIFT LOCATION AND SIZE ADJUSTED TO SUIT EXISTING ROCK EXCAVATION, STORMWATER DETAILS ADDED
B	26.04.2021	AMENDMENT AS PER COUNCIL REQUEST
A	10.03.2021	ISSUE FOR DEVELOPMENT APPLICATION
REV	DATE	NOTE

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SHEET TITLE:
SECTIONS

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SHEET NUMBER: 20039 DA 04	ISSUE: D
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