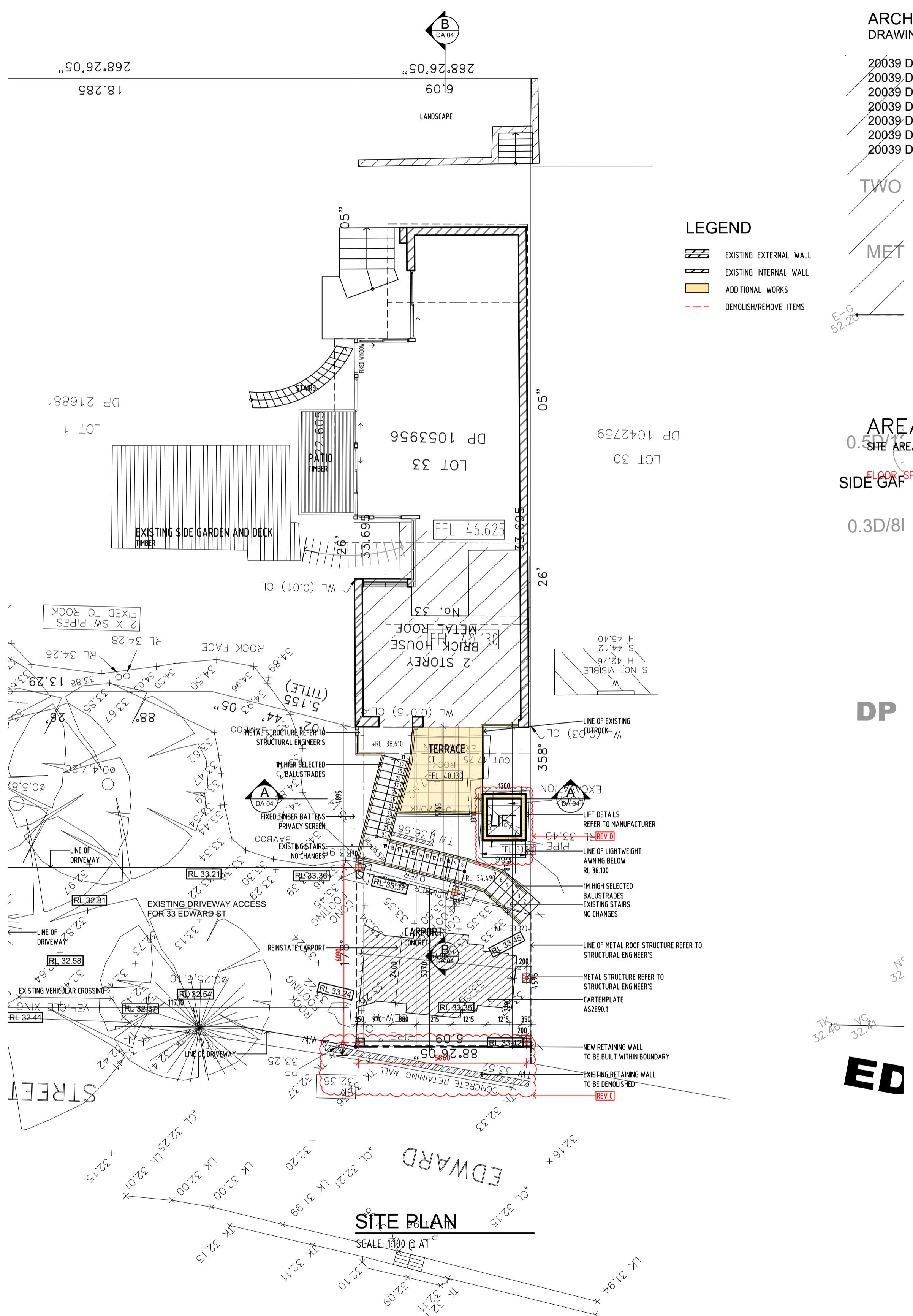


# PROPOSED DEVELOPMENT APPLICATION

## ALTERATIONS & ADDITIONS

### 33 EDWARD STREET WOOLLAHRA 2025



#### ARCHITECTURAL DRAWINGS

DRAWING# SHEET NAME

- 20039 DA 00 SITE PLAN & COVER PAGE
- 20039 DA 01 EXISTING & PROPOSED CARPORT & LOWER GROUND FLOOR PLAN
- 20039 DA 02 EXISTING & PROPOSED GROUND & FIRST FLOOR PLAN
- 20039 DA 03 PROPOSED ELEVATIONS
- 20039 DA 04 SECTIONS
- 20039 DA 05 EXISTING & PROPOSED SHADOW DIAGRAM'S
- 20039 DA 06 STORMWATER PLAN/EROSION & SEDIMENT CONTROL PLAN

TWO

MET

E-G  
52-28

#### LEGEND

- EXISTING EXTERNAL WALL
- EXISTING INTERNAL WALL
- ADDITIONAL WORKS
- DEMOLISH/REMOVE ITEMS

#### AREA CALCULATIONS

SITE AREA 205.30m<sup>2</sup>

SIDE GAF

0.3D/8I

DP

ED

#### MATERIALS

CT = CERAMIC TILES  
CONC. = CONCRETE SLAB

#### NOTES:

1. ALL DIMENSIONS ARE IN MILLIMETRES AND SHOULD BE VERIFIED ON SITE BY BUILDER PRIOR TO COMMENCEMENT OF WORKS.
2. ALL DIMENSIONS ARE TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA, RELEVANT AUSTRALIAN STANDARDS AND APPROVED DEVELOPMENT CONSENT CONDITIONS.
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4. FIGURED DIMENSIONS TO TAKE PREDENCE OVER SCALED DIMENSIONS. IF IN DOUBT CALL CAD PLANS FOR CLARIFICATION.
5. ALL TIMBER CONSTRUCTION IS TO BE IN ACCORDANCE WITH THE NATIONAL TIMBER FRAMING CODE AS1905.2.
6. ROOF WATER AND SUB SOIL DRAINAGE TO BE DISPOSED OF IN THE APPROVED MANNER AS INDICATED ON THE DRAWINGS.
7. ALL STRUCTURAL DETAILS TO BE DESIGNED BY AN APPROVED STRUCTURAL ENGINEER.
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#### GENERAL NOTATION

All work to be carried out in accordance with the requirements of The Principal Certifying Authority and RCA 2019.

All demolition work to be carried out in accordance with AS 2601 - 1991.

SL/sediment control measures to be in place prior excavation or construction work.

Protection measures are required for each tree being retained on site and shall be established before building operations begin and completed in accordance with council's requirements.

Removal of asbestos cement sheeting must be carried out by licensed contractors & in accordance with Council's information sheets 'Demolition of Asbestos Cement Sheetings'.

'Part 3 - Traffic control devices for works on roads'.

Pedestrian access, including disabled & pram access during road work to be maintained as per AS 1742.3,

"Part 3 - Traffic control devices for works on roads".

Builder shall make good all disturbed areas adjacent to the works on council's road. Footpath are to be restored to the satisfaction of the principal certifying authority.

All concrete footings, floor slabs, columns & timber roof framing to structural engineer's detail.

All storm water requirements, external RL, and driveway levels to hydraulic engineer's details.

All landscape areas, existing trees, driveway, drying yard and fencing to landscape architect's details.

Carparking layout to mechanical engineer's details.

Fire safety layout & schedule refer to fire safety engineer's details.

Ceiling immediately below the roof to have an 1 hour fire rating.

Safety glass shall be used in every glass door or panel enclosing or partly enclosing a shower or bath.

All Laundry shall be provided with mechanical clothes dryer.

The reflectivity index of glass used in the external facade of the building is not to exceed 20%.

A single master TV antenna is to be installed to service each building & provision made for connection to each dwelling unit within the building.

All bathroom and WC windows shall be fitted and maintained with obscure glass.

Unless the door in a sanitary room swings out or slide, where distance between the path of door swing and toilet suit less than 1.2 m, door must be installed with removable hinges.

A door in a required exit, forming part of a required exit or in path of travel to a required exit must be easily operable from a keyhole and a keyhole selected express by a single hand downward action or pushed on a single device which is located between 300mm and 1200mm from the floor, and must not comprise a bolt or padlock or a separately operated handle.

The L10 (20 minute) noise level in the dwelling, with windows and external facade doors closed, shall be less than 40 dB(A).

The L10 (20 minute) noise level in the dwelling, with windows and external facade doors normally open, shall be less than 50 dB(A).

#### 3.7.1.5 Construction of external walls

- (a) External walls(including gables) required to be fire resisting(referred to in 3.7.1.3 or 3.7.1.6) must extend to the underside of a non-combustible roof covering or non-combustible eaves lining or soffit.
- (i) have an FRL of not less than 60/60/60 when tested from the outside; or
- (ii) be of masonry-veneer construction in which the external masonry veneer is not less than 90mm thick; or
- (iii) be of masonry construction not less than 90mm thick.

- (b) Openings in external walls required to be fire resisting(referred to in 3.7.1.3 or 3.7.1.6) must be protected by-

- (i) non-operable fire windows or other construction with an FRL of not less than -60/-; or
- (ii) self-closing solid core doors not less than 35mm thick.

- (c) Sub-floor vents, roof vents, weepholes and penetrations for pipes, conduits and the like need not comply with (b).

- (d) Concessions for non-habitable room windows conduits and the like.

- Despite the requirements in (b), in a non-habitable room, a window that faces the boundary of the proposed allotment may not be less than 600mm from that boundary or, where the window faces another building on the same allotment, not less than 1200mm from that building provided that-

- (i) in a bathroom, laundry or toilet, the opening has an area of not more than 1.2 sqm; or

- (ii) in a room other than referred to in (i), opening has an area of not more than 0.54 sqm and-

- (A) the window is steel-framed, there are no opening sashes and it is glazed in wired glass; or

- (B) the opening is enclosed with translucent hollow glass blocks.

#### 3.7.1.8 Separating walls

- (a) A wall that separates Class 1 dwellings, or separates a Class 1 building from a Class 10a building which is not appurtenant to that Class 1 building must have an FRL of not less than 60/60/60 and-

- (i) commence at the footings or ground slab.

- (ii) extend-

- (A) if the building has a non-combustible roof covering, to the underside of the roof covering; or

- (B) if the building has a combustible roof covering, to not less than 450 mm above the roof covering.

#### PART F1 : Fire and Weather Protection -

- Stormwater drainage must comply with AS/NZS 3500.3.2.

- Roof covering to comply with F1.5.

- Sarking must comply with AS/NZS 4200 Parts 1 and 2.

- Water proofing of wet areas in buildings, to comply with F1.7.

- Damp-proofing of floors on ground, to comply with F1.10.

- Provision of floor wastes, to comply with F1.11.

#### PART F4 : Light & Ventilation -

- Ventilation of basement carpark to comply with F4.11 (Public Carparks).

- Other portion of building not receiving natural ventilation to the standards set out in PART F4, shall be provided with a system of mechanical ventilation complying with F4.5 (Ventilation of Rooms).

#### PART 3.7 : Fire Safety

- Automatic fire detection & alarm system to be provided in accordance with Part 3.7.2 (General Concession).

#### PART 3.7.2 : Smoke Alarms

- Automatic fire detection & alarm system to be provided in accordance with Part 3.7.2.2 Requirements for smoke alarms

- (a) Smoke alarms must be installed in-

- (i) any storey containing bedrooms-

#### PART 3.8 : Health and Amenity

- Wet areas within the proposed building to comply with the requirements of Part 3.8.1 (Wet Areas).

#### PART 3.8.1 : Sound Insulation

- Compliance with this Part satisfies Performance Requirement P2.4.6 for sound insulation.

#### 3.8.6.2 Sound insulation requirements

- (a) To provide insulation from airborne and impact sound, a separating wall between two or more Class 1 building must-

- (i) achieve the weighted sound reduction index with spectrum adaptation term (Rw + Ctr) and discontinuous construction requirements, as required by Table 3.8.6.1; and

- (ii) be installed in accordance with the appropriate requirements of 3.8.6.3 and 3.8.6.4.

- (b) For the purpose of this Part, the Rw + Ctr must be determined in accordance with AS/NZS 1276.2 or IS0717.1, using results from laboratory measurements.

#### PART 3.9 : Safe Movement and Access

- (a) The treads & risers of the proposed stairs are to comply with Part 3.9.1.2 (General Requirements).

#### 3.9.2.5 Protection of openable windows

- (a) A window opening must be provided with protection, if the floor below the window in a bedroom is 2m or more above the surface of the ground.

- (b) Where the height of the window opening is less than 1.7 m above the floor, a window opening covered by (a) must comply with the following:

- (i) An openable portion of the window must be protected with

- (ii) A device to restrict the window opening; or

- (iii) Screen with secure fittings.

#### AUSTRALIAN STANDARD COMPLIANCE

THE BUILDING SHALL BE CONSTRUCTED IN ACCORDANCE WITH BUT NOT LIMITED TO THE FOLLOWING AUSTRALIAN STANDARDS.

- AS/NZS 1664 ALUMINIUM STRUCTURES
- AS/NZS 1905 COMPONENTS FOR THE PROTECTION OF OPENINGS IN FIRE RESISTANT WALLS.
- AS 2050 INSTALLATION OF ROOF TILES
- AS 2047 WINDOWS IN BUILDINGS – SELECTION AND INSTALLATION
- AS 2159 PILING – DESIGN AND INSTALLATION
- AS 2293 EMERGENCY EVACUATION LIGHTING IN BUILDINGS
- AS 2327 COMPOSITE STRUCTURES
- AS 2870 RESIDENTIAL SLABS AND FOOTINGS CONSTRUCTION
- AS 1684 RESIDENTIAL TIMBER-FRAMED CONSTRUCTION
- AS 3700 MASONRY STRUCTURES
- AS 3013 ELECTRICAL INSTALLATIONS
- AS 1668 THE USE OF MECHANICAL VENTILATION AND AIR CONDITIONING IN BUILDINGS
- AS 2159 AUTOMATIC FIRE EXTINGUISHERS AND FIRE BLANKETS – SELECTION AND LOCATION
- AS 2444 PORTABLE FIRE EXTINGUISHERS AND FIRE BLANKETS
- AS 3786 SMOKE ALARMS
- AS/NZS 1905 COMPONENTS FOR THE PROTECTION OF OPENINGS IN FIRE-RESISTANT WALLS
- AS 2288 GLASS IN BUILDINGS – SELECTION AND INSTALLATION
- AS 2107 ACOUSTICS – RECOMMENDED DESIGN SOUND LEVELS AND REVERBERATION TIMES FOR BUILDING INTERIORS
- AS 3660.1 TERMITE MANAGEMENTS – NEW BUILDING WORKS

#### ADDITIONAL NOTES

#### Reference Drawings:

**Survey drawings by:**  
**EAST WEST SURVEYORS PTY LTD**  
**SUITE 2 GROUND FLOOR, 123 MIDSON ROAD EPPING NSW 2121**  
**Ph: 02 83862318 EMAIL: info@eastwestsurveyors.com.au**

**NOTES:**  
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 ALL CONSTRUCTION TO COMPLY WITH RELEVANT THE RELEVANT SAA BUILDING CODES AND TO LOCAL COUNCIL REQUIREMENTS.  
 ALL DIMENSIONS THAT RELATE TO SITE BOUNDARIES AND EASMENTS ARE SUBJECT TO

## LEGEND

- EXISTING EXTERNAL WALL
- EXISTING INTERNAL WALL
- ADDITIONAL WORKS
- DEMOLISH/REMOVE ITEMS

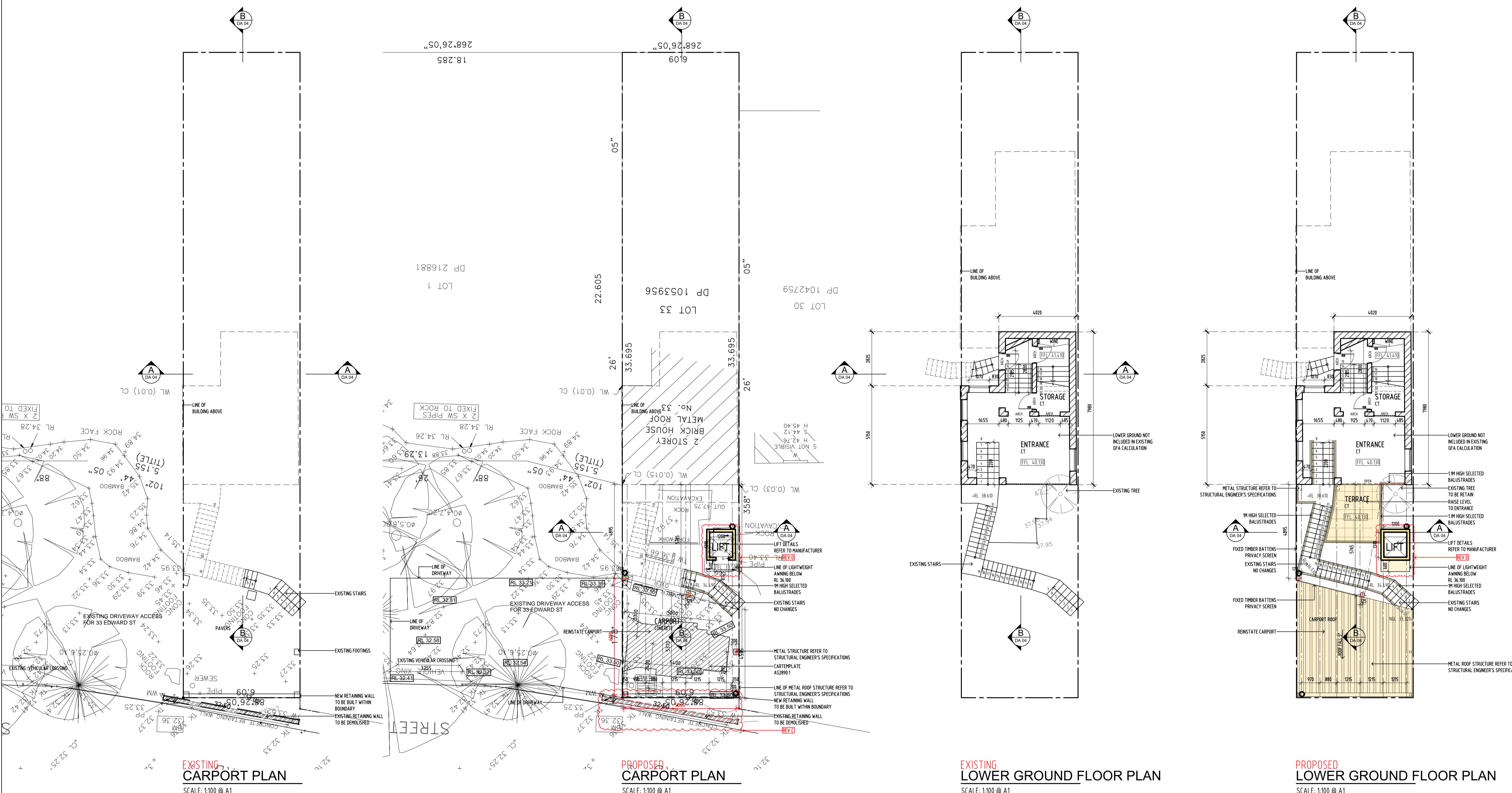
## LIST OF CHANGES:

REV C:

1. FRONT RETAINING WALL MOVED TO WITHIN BOUNDARY

REV D

2. LIFT SHAFT ADJUSTED TO SUIT EXISTING ROCK EXCAVATION



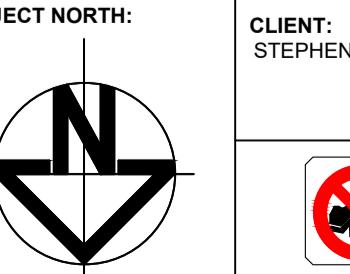
D	18.08.21	LIFT LOCATION AND SIZE ADJUSTED TO SUIT EXISTING ROCK EXCAVATION, STORMWATER DETAILS ADDED
B	26.04.2021	AMENDMENT AS PER COUNCIL REQUEST
A	10.03.2021	ISSUE FOR DEVELOPMENT APPLICATION

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PROJECT NORTH:

CLIENT: STEPHEN CROWE



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M: 0416009172  
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SHEET TITLE:  
**EXISTING & PROPOSED CARPORT & LOWER GROUND FLOOR PLAN**  
DESIGNER: JAS DATE: DEC. 2020 SCALE: A1:100 PRINT SCALE: A3:1:200  
DRAWN: JI DATE: AS SHOWN  
LEGAL IDENTIFICATION NUMBER: 33/DP1053956  
LOCAL GOVERNMENT AUTHORITY: WOOLLAHRA MUNICIPAL COUNCIL  
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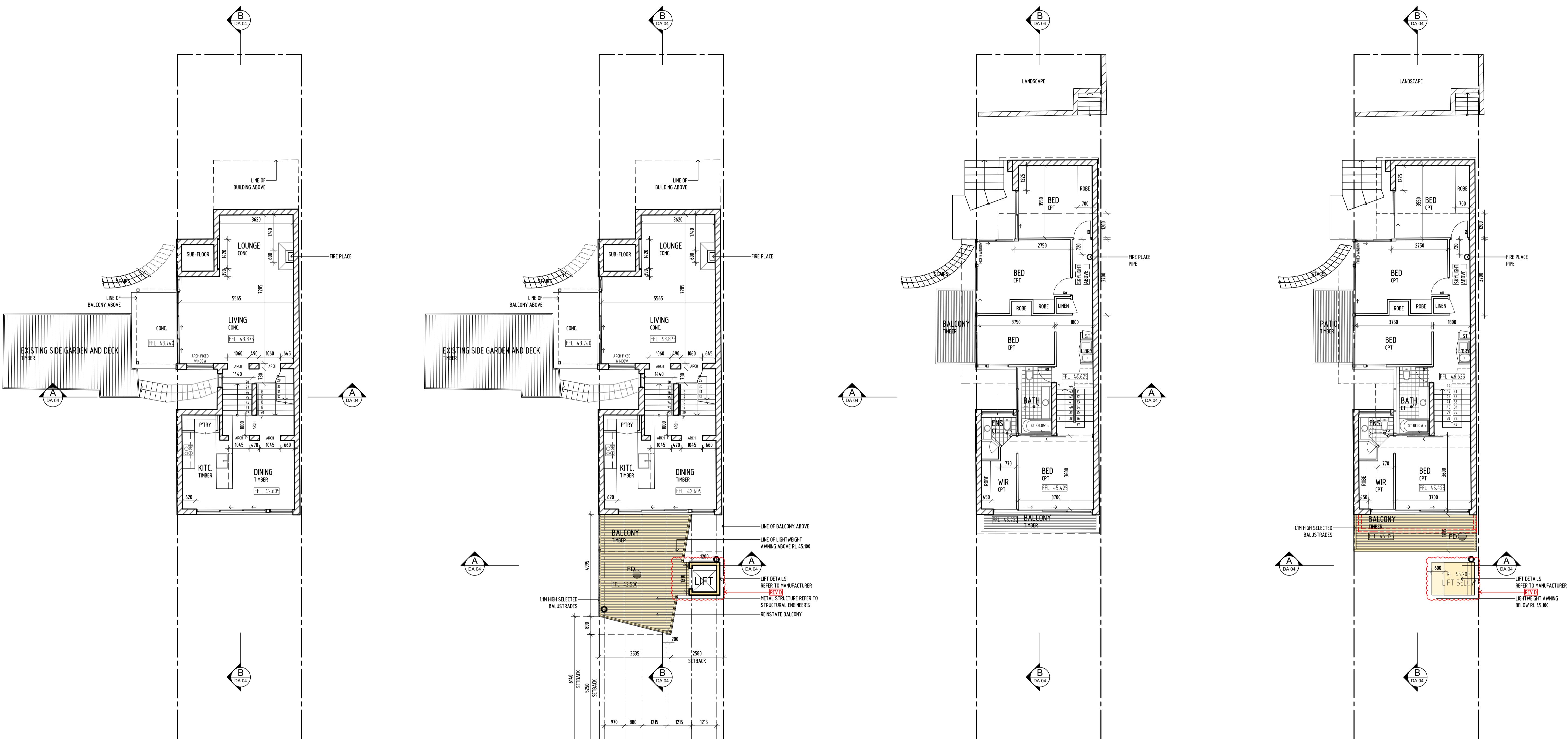
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**ALTERATIONS & ADDITIONS**  
SITE ADDRESS:  
33 EDWARD STREET WOOLLAHRA 2025  
LEGAL IDENTIFICATION NUMBER: 33/DP1053956  
LOCAL GOVERNMENT AUTHORITY: WOOLLAHRA MUNICIPAL COUNCIL  
SHEET NUMBER:  
**20039 DA 01**  
ISSUE: D

**LIST OF CHANGES:  
REV D**

**1. LIFT SHAFT ADJUSTED TO SUIT EXISTING ROCK EXCAVATION**

**LEGEND**

EXISTING EXTERNAL WALL  
 EXISTING INTERNAL WALL  
 ADDITIONAL WORKS  
 DEMOLISH/REMOVE ITEMS



**EXISTING  
GROUND FLOOR PLAN**  
SCALE: 1:100 @ A1

**PROPOSED  
GROUND FLOOR PLAN**  
SCALE: 1:100 @ A1

**EXISTING  
FIRST FLOOR PLAN**  
SCALE: 1:100 @ A1

**PROPOSED  
FIRST FLOOR PLAN**  
SCALE: 1:100 @ A1

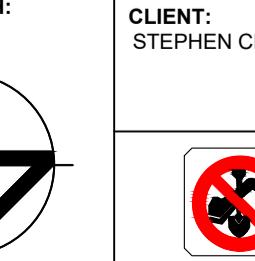
D	18.08.21	LIFT LOCATION AND SIZE ADJUSTED TO SUIT EXISTING ROCK EXCAVATION, STORMWATER DETAILS ADDED
B	26.04.2021	NO CHANGES
A	10.03.2021	ISSUE FOR DEVELOPMENT APPLICATION
REV	DATE	NOTE

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**PROJECT NORTH:**

CLIENT:  
STEPHEN CROWE



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M: 0416009172 E: info@cadplans.net.au



**SHEET TITLE:**  
**EXISTING & PROPOSED GROUND & FIRST FLOOR PLAN**

**DESIGNER:** JI **DRAWN:** JI **DATE:** DEC. 2020 **SCALE:** AS SHOWN **PRINT SCALE:** A3 - 1:100 A3 - 1:200

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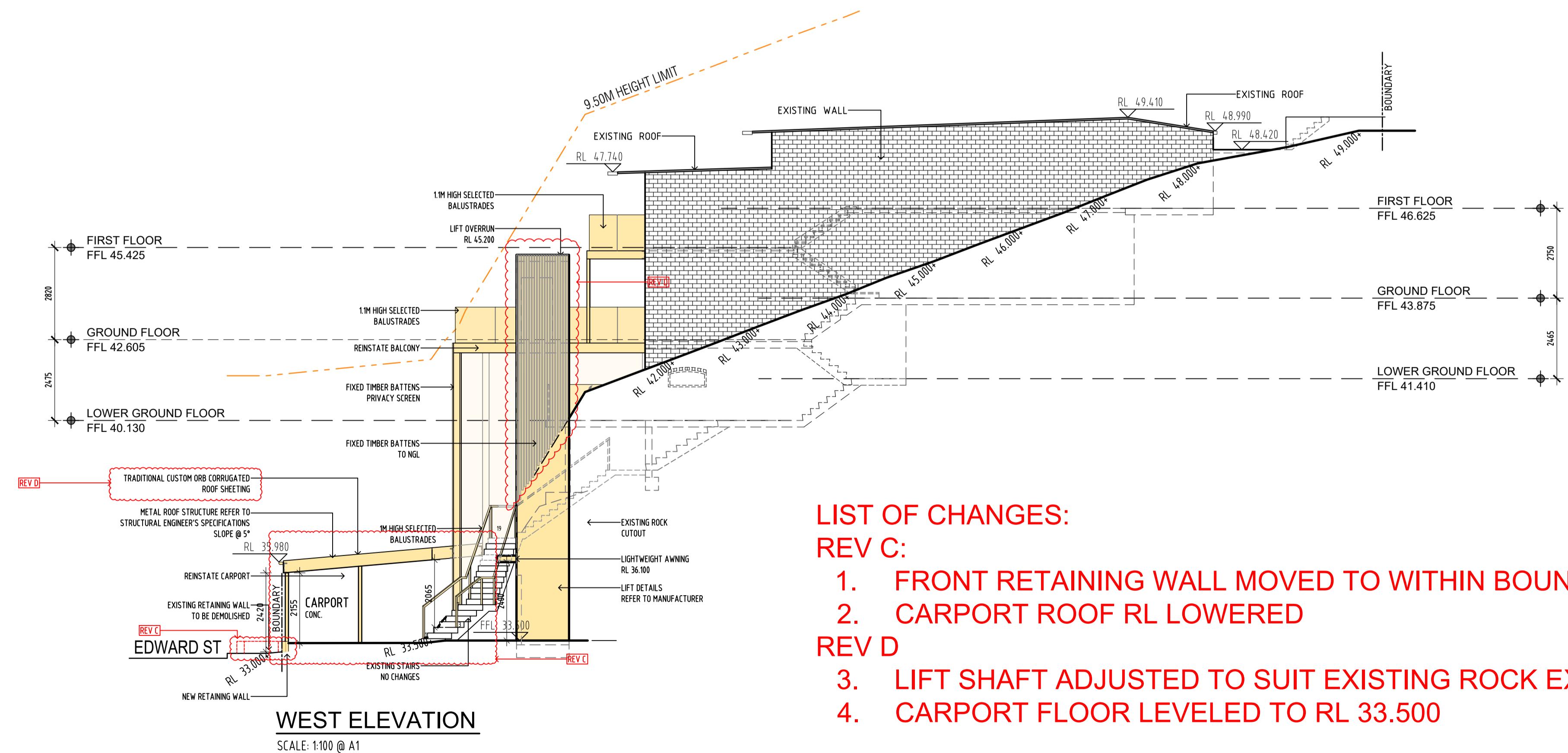
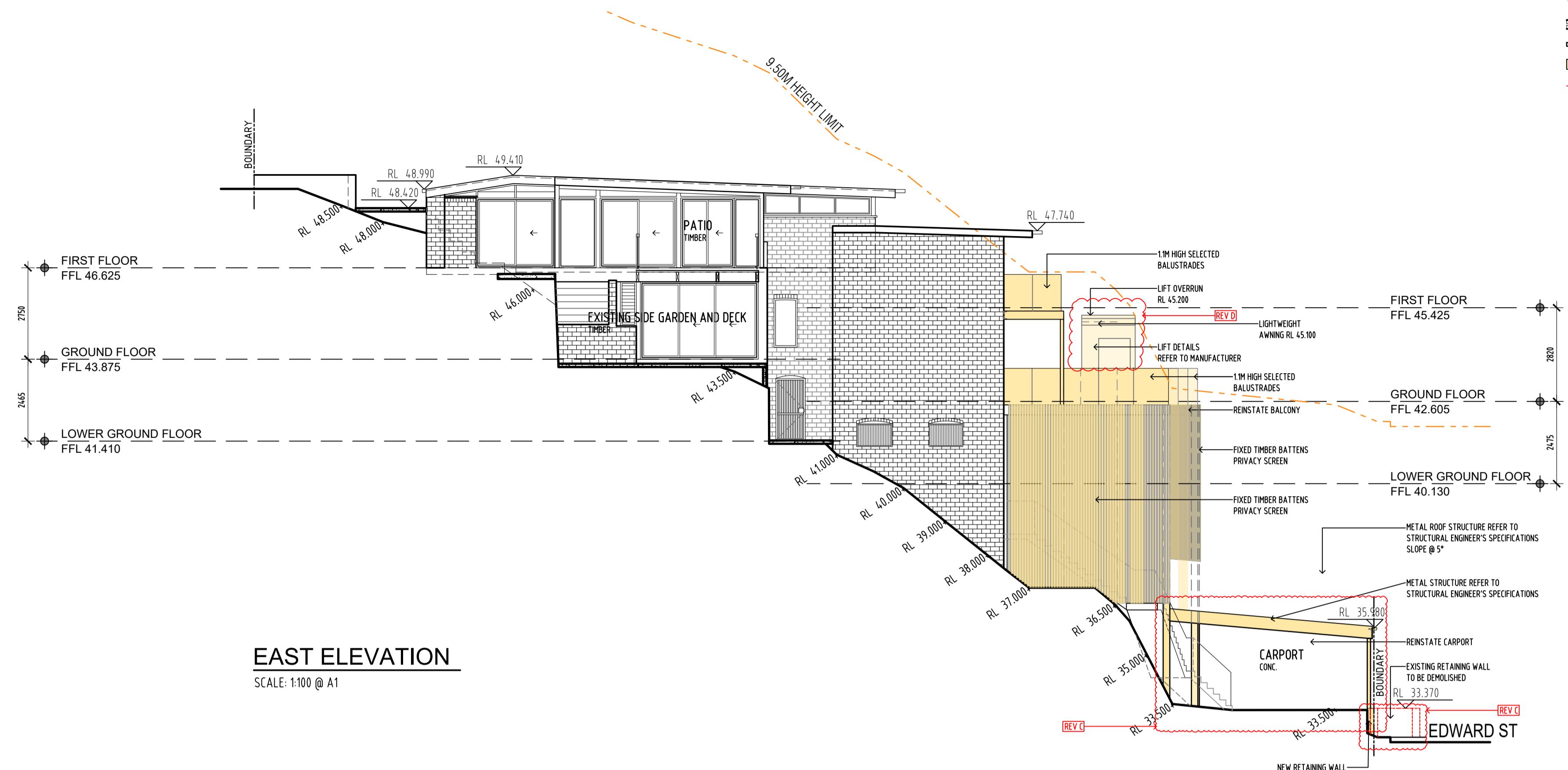
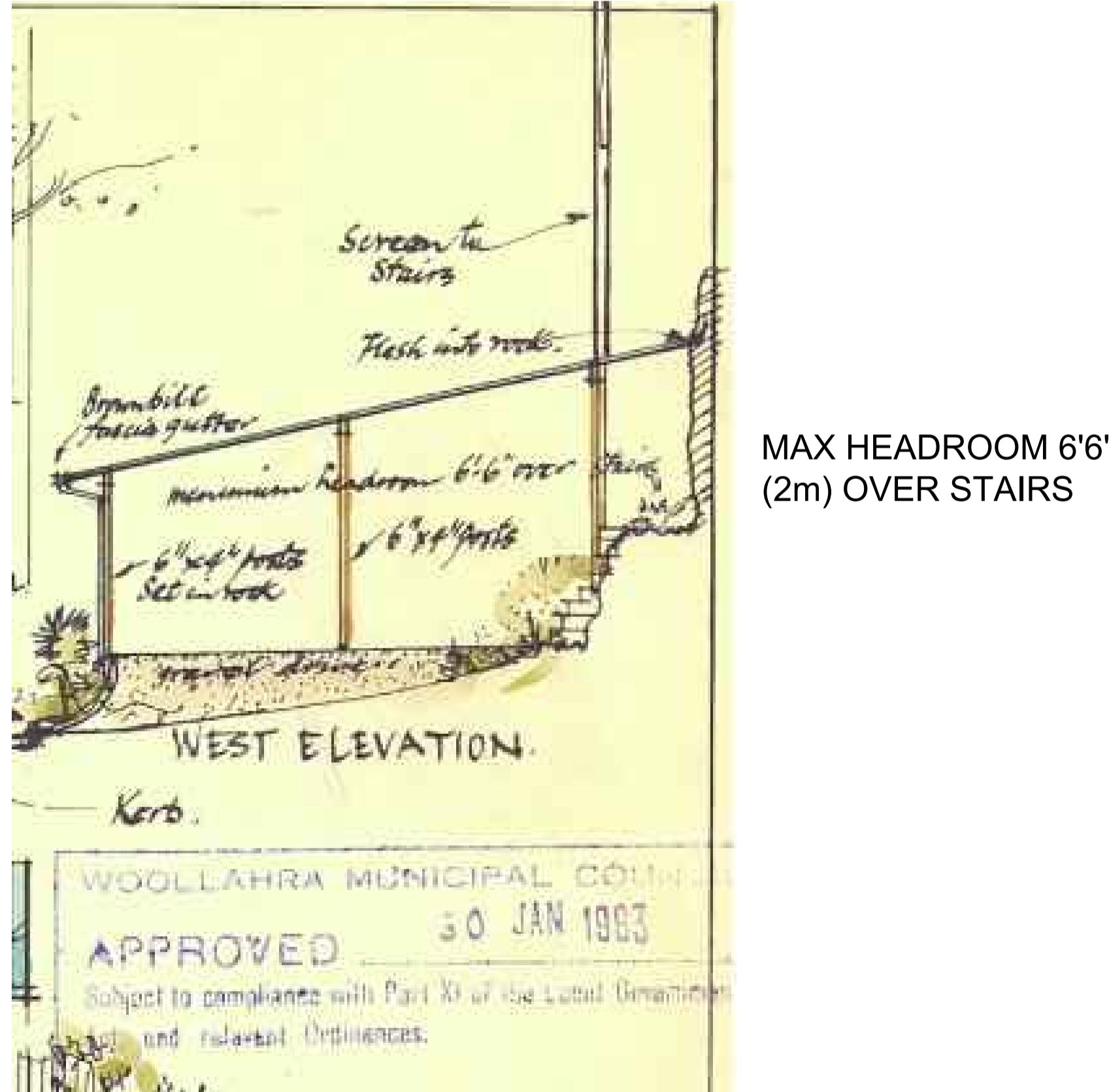
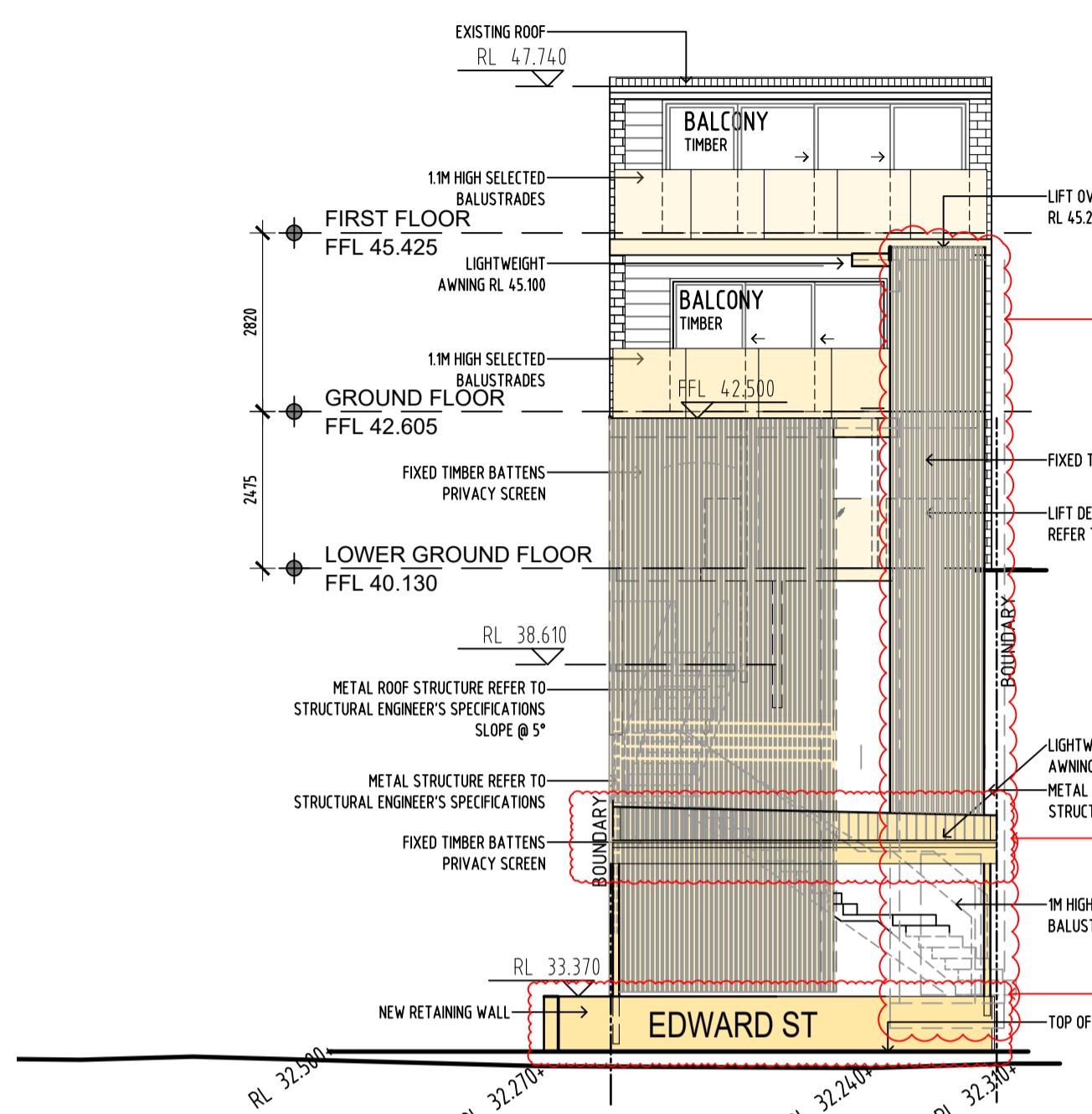
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**LOCAL GOVERNMENT AUTHORITY:** WOOLLAHRA MUNICIPAL COUNCIL

**SHEET NUMBER:** 20039 DA 02

**ISSUE:** D

## LEGEND

- EXISTING EXTERNAL WALL
- EXISTING INTERNAL WALL
- ADDITIONAL WORKS
- DEMOLISH/REMOVE ITEMS



## LIST OF CHANGES:

REV C:

1. FRONT RETAINING WALL MOVED TO WITHIN BOUNDARY
2. CARPORT ROOF RL LOWERED

REV D:

3. LIFT SHAFT ADJUSTED TO SUIT EXISTING ROCK EXCAVATION
4. CARPORT FLOOR LEVELED TO RL 33.500

D	18.08.21	LIFT LOCATION AND SIZE ADJUSTED TO SUIT EXISTING ROCK EXCAVATION, STORMWATER DETAILS ADDED
C	14.07.2021	TIMBER BATONS ADDED TO LIFT SHAFT
B	26.04.2021	NO CHANGES
A	10.03.2021	ISSUE FOR DEVELOPMENT APPLICATION
REV	DATE	NOTE

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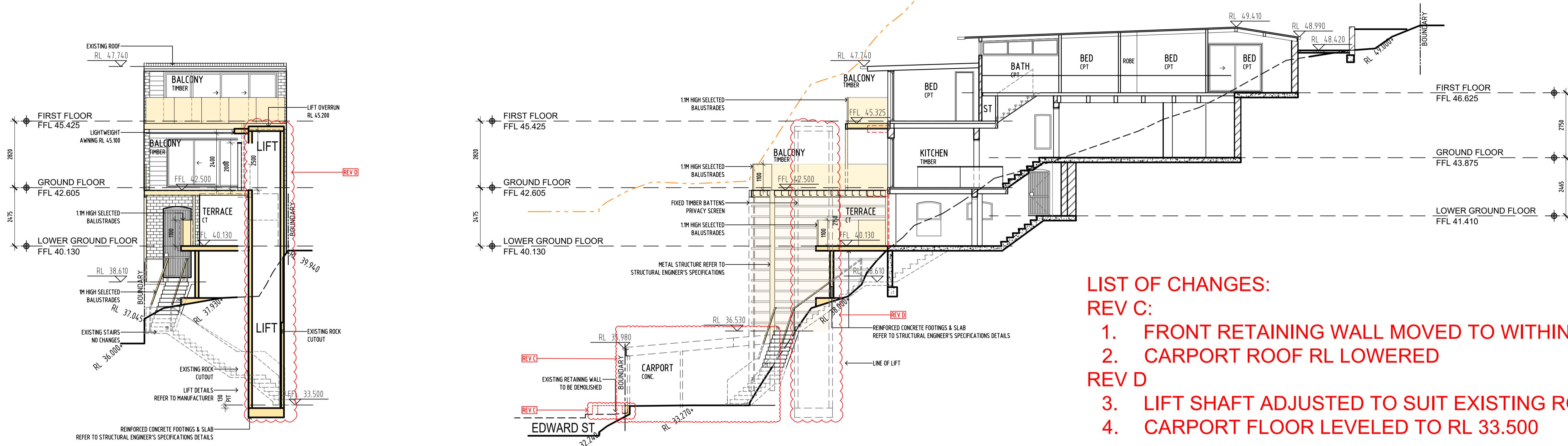
PROPOSED ELEVATIONS

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LOCAL GOVERNMENT AUTHORITY: WOOLLAHRA MUNICIPAL COUNCIL  
SHEET NUMBER: 20039 DA 03  
ISSUE: D

### LEGEND

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- EXISTING INTERNAL WALL
- ADDITIONAL WORKS
- DEMOLISH/REMOVE ITEMS



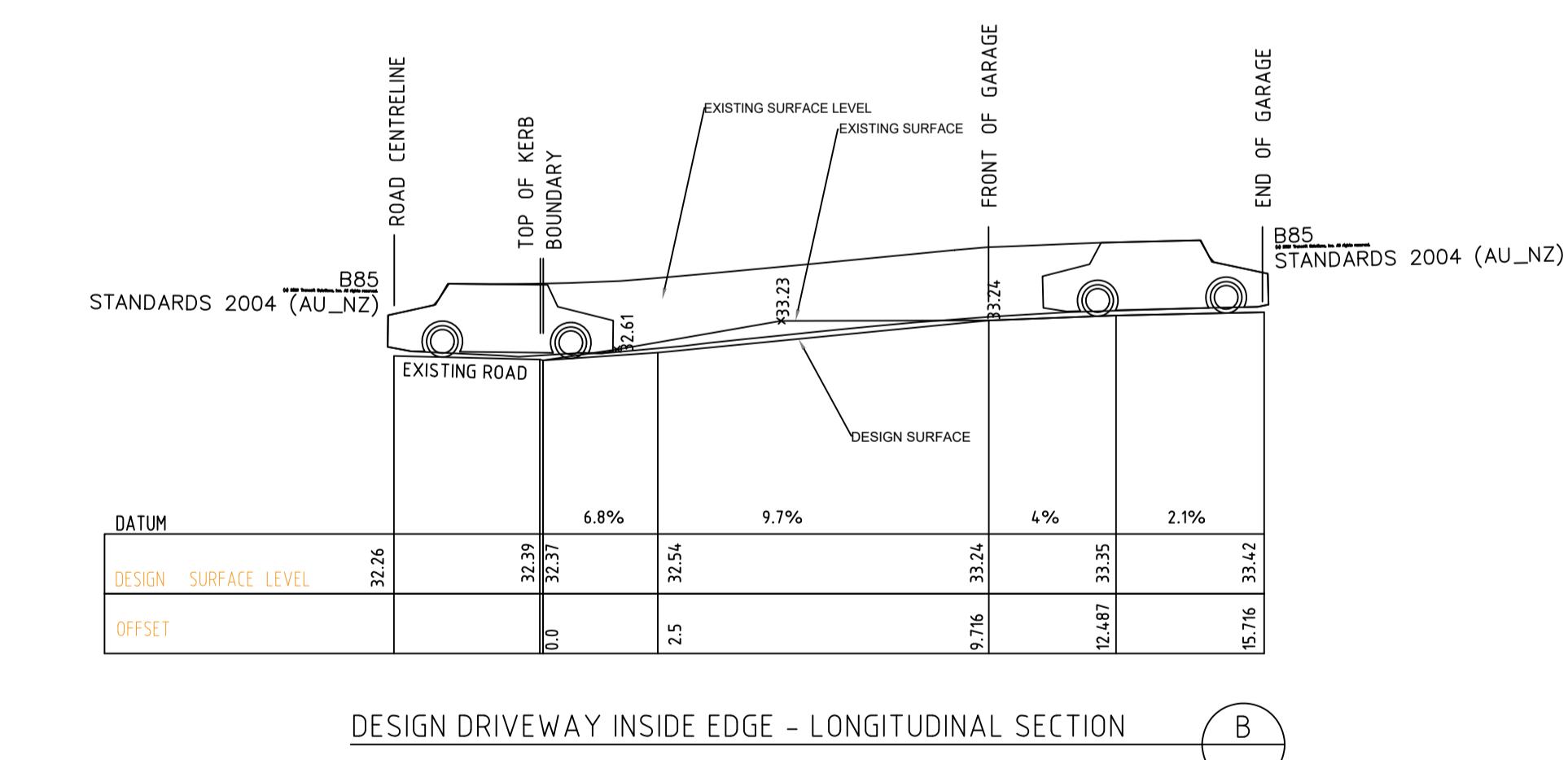
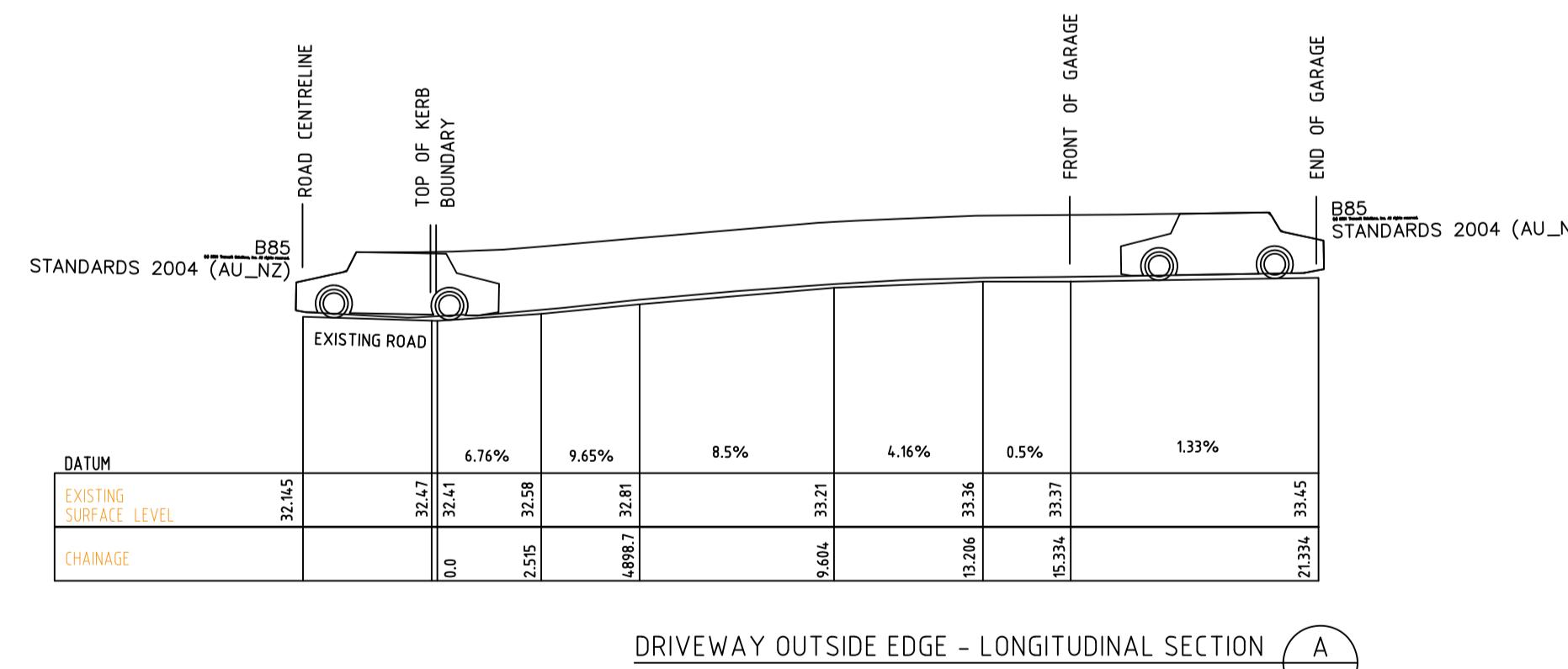
### LIST OF CHANGES:

REV C:

- FRONT RETAINING WALL MOVED TO WITHIN BOUNDARY
- CARPORT ROOF RL LOWERED

REV D:

- LIFT SHAFT ADJUSTED TO SUIT EXISTING ROCK EXCAVATION
- CARPORT FLOOR LEVELED TO RL 33.500



D	18.08.21	LIFT LOCATION AND SIZE ADJUSTED TO SUIT EXISTING ROCK EXCAVATION, STORMWATER DETAILS ADDED
B	26.04.2021	AMENDMENT AS PER COUNCIL REQUEST
A	10.03.2021	ISSUE FOR DEVELOPMENT APPLICATION
REV	DATE	NOTE

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NORTH:

PROJECT NORTH:  
STEPHEN CROWE

CLIENT:  
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SHEET TITLE:  
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LOCAL GOVERNMENT AUTHORITY: WOOLLAHRA MUNICIPAL COUNCIL  
SHEET NUMBER:  
20039 DA 04  
ISSUE: D